

**Urmston Office**

0161 747 1177  
1 Crofts Bank Road, Urmston  
M41 0TZ  
🐦 @homeinurmston

**Stretford Office**

0161 871 3939  
145 Barton Road, Stretford  
M32 8DN  
🐦 @homeinstretford

**Monton Office**

0161 789 8383  
222 Monton Road, Monton  
M30 9LJ  
🐦 @homeinmonton



## 3 Leach Drive Eccles Manchester M30 8ET

### Offers over £260,000

CALLING ALL FIRST TIME BUYERS! HOME ESTATE AGENTS are delighted to offer for sale this immaculately presented and improved three bedroom mid terrace property located on the always popular Bellway development! Within easy access of Monton the property is well positioned to benefit from the local amenities on offer. The modern accommodation comprises hallway, entrance W/C, lounge, modern open plan kitchen/diner, shaped landing, three bedrooms and a fitted family bathroom suite. Externally there is ample off road parking to the front whilst to the rear there is an artificial lawn garden with paved patio area along with separate bin store area and access to the rear. Call HOME on 01617898383 to arrange your viewing!

- GREAT FIRST TIME BUY!
- Lounge
- Modern fitted bathroom
- Walking distance to Monton and Patricroft train station!
- Three bedroom mid terrace property
- Open plan kitchen/diner
- Double driveway to the front
- Hallway with entrance W/C
- Three bedrooms
- Garden to the rear with bin store area



**LOCAL EXPERTS THAT GET YOU MOVING**

 [www.homeestateagents.com](http://www.homeestateagents.com)



**Hallway 5'8 x 3'4 (1.73m x 1.02m)**

Door to front, single panel radiator and wood effect flooring.

**W/C 5'7 x 2'9 (1.70m x 0.84m)**

Fitted with low level W/C and pedestal wash hand basin. uPVC double glazed window to the front and single panel radiator.

**Lounge 14'8 x 13'2 (4.47m x 4.01m)**

uPVC double glazed window to the front, stairs to the first floor, wood effect flooring, television point and understairs storage.

**Fitted kitchen/diner 15'0 x 9'2 (4.57m x 2.79m)**

Fitted with modern wall and base units, straight edge worktops, sink unit, space for fridge freezer, space for washer, space for dishwasher, gas hob and electric oven. Tiled to complement, uPVC double glazed door and window to the rear, wood effect flooring and feature radiator.

**Shaped landing**

Open balustrade, loft access, single panel radiator and storage.

**Bedroom One 9'9 x 8'0 (2.97m x 2.44m)**

uPVC double glazed window to the front, single panel radiator and fitted wardrobe for storage.

**Bedroom Two 10'5 x 8'1 (3.18m x 2.46m)**

uPVC double glazed window to the rear, wood effect flooring and single panel radiator.

**Bedroom Three 6'6 x 6'5 (1.98m x 1.96m)**

uPVC double glazed window to the rear, single panel radiator and wood effect flooring.

**Bathroom 6'3 x 6'1 (1.91m x 1.85m)**

Fitted with modern three piece bathroom suite comprising low level W/C, pedestal wash hand basin and panelled bath with shower over. Tiled to complement, single panel radiator and uPVC double glazed window to the front.

**Sales information**

We are advised that the property is Freehold.

We are advised that the current council tax band is band C.

The current EPC rating is B.

**IMPORTANT INFORMATION -**

PLEASE NOTE: Home Estate Agents have not tested the services and appliances described within this document (including central heating systems), and advise purchasers to have such items tested to their own satisfaction by a specialist. All sizes quoted are approximate.

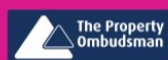
Making an offer: if you are interested in this property, please contact us at the earliest opportunity prior to contacting a bank, building society or solicitor. Failure to do so could result in the property being sold elsewhere and could result in you incurring unnecessary costs such as survey or legal fees. Most of our

clients require us to advise them on the status of potential buyers, who make an offer to purchase, therefore you are strongly advised to make an appointment at this stage.



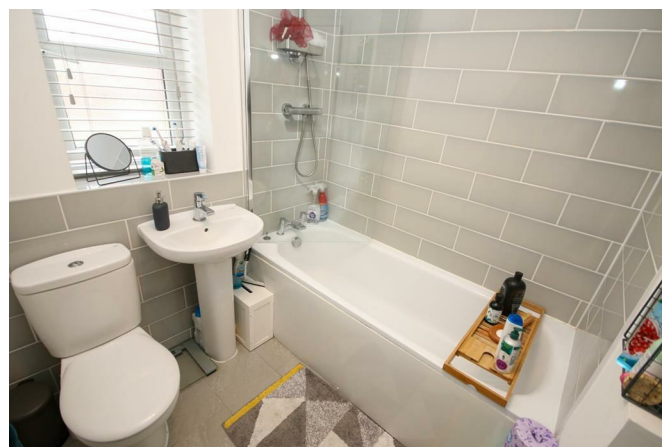
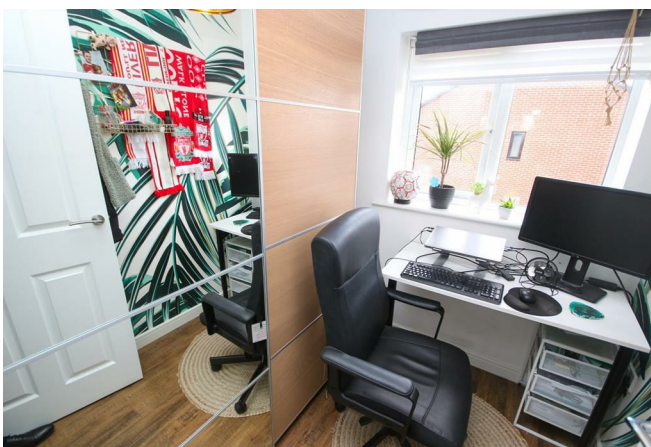
**LOCAL EXPERTS THAT GET YOU MOVING**

 [www.homeestateagents.com](http://www.homeestateagents.com)



Registered Address Vantage House, East Terrace Business Park, Euxton Lane, Euxton PR7 6TB - England  
Company Registration numbers Monton - 9262084 Urmston - 04331861 Stretford - 08259553





**LOCAL EXPERTS THAT GET YOU MOVING**

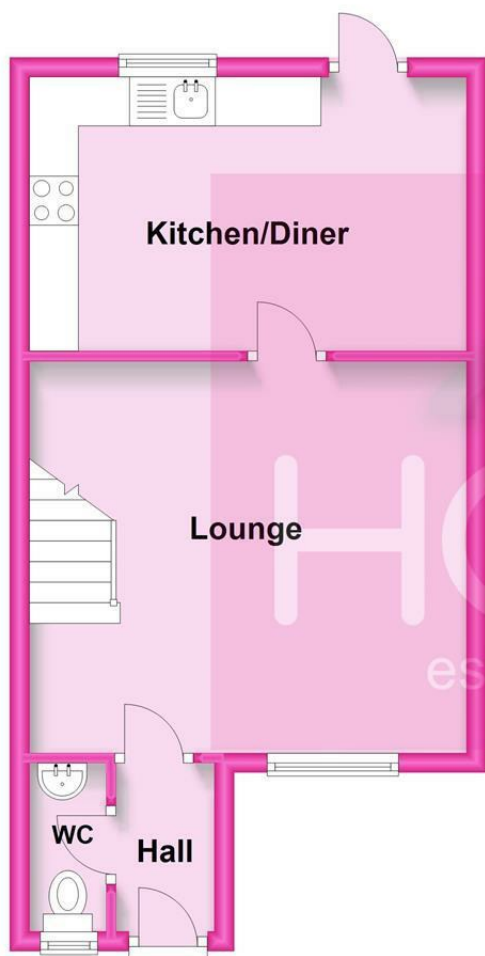
 [www.homestateagents.com](http://www.homestateagents.com)



Registered Address Vantage House, East Terrace Business Park, Euxton Lane, Euxton PR7 6TB - England  
Company Registration numbers Monton - 9262084 Urmston - 04331861 Stretford - 08259553

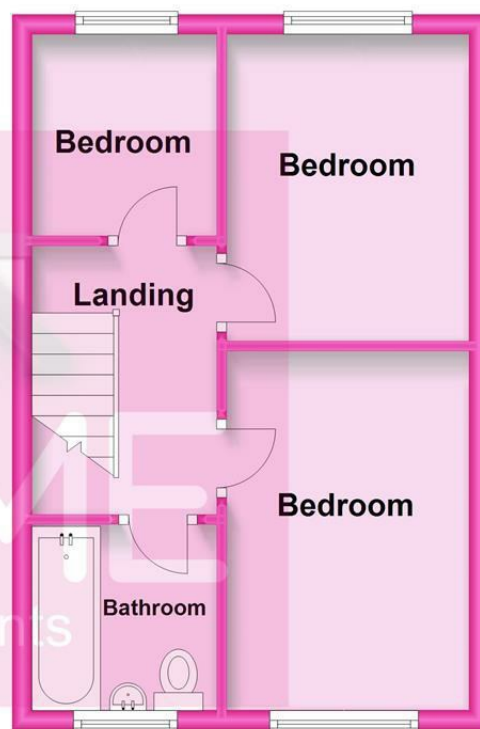
## Ground Floor

Approx. 34.2 sq. metres (368.6 sq. feet)



## First Floor

Approx. 30.8 sq. metres (331.6 sq. feet)



Total area: approx. 65.0 sq. metres (700.2 sq. feet)

Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

**LOCAL EXPERTS THAT GET YOU MOVING**

[www.homeestateagents.com](http://www.homeestateagents.com)



Registered Address Vantage House, East Terrace Business Park, Euxton Lane, Euxton PR7 6TB - England  
Company Registration numbers Monton - 9262084 Urmston - 04331861 Stretford - 08259553